

TOWN OF



WALKERVILLE



**The Corporation of the Town of Walkerville**

66 Walkerville Terrace, Gilberton SA 5081

PO Box 55, Walkerville SA 5081

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<http://www.walkerville.sa.gov.au>

## Development Application Form

DA 200/199/20  
DPC202067440

### APPLICATION TYPE *(please select one)*

- ☐ **Planning Consent ONLY**  
☐ **Building Rules Consent ONLY** or Schedule 1A  
☐ **Development Approval** (Planning Consent and Building Rules Consent)

### If applying for Planning Consent *(please select one)*

Merit ☐ Residential Code ☐ Non Complying ☐

### Office Use Only

DA Number: 200/\_\_\_\_\_/\_\_\_\_

Receipt Number: \_\_\_\_\_

Record Number: \_\_\_\_\_

Date Lodged: \_\_\_\_\_

### LOCATION OF PROPOSED DEVELOPMENT

House No: \_\_\_\_\_ Street: \_\_\_\_\_ Suburb: \_\_\_\_\_ Postcode: \_\_\_\_\_

Section No. [full/part] \_\_\_\_\_ Hundred: \_\_\_\_\_ Volume: \_\_\_\_\_ Folio: \_\_\_\_\_

### DESCRIPTION OF PROPOSED DEVELOPMENT

DEVELOPMENT COST: \$ \_\_\_\_\_ DEVELOPMENT FLOOR AREA: \_\_\_\_\_

*Do not include any fit out costs*

### APPLICANT DETAILS

Given Names: \_\_\_\_\_

Phone 1: \_\_\_\_\_ Phone 2: \_\_\_\_\_

Email Address: \_\_\_\_\_

Postal Address: \_\_\_\_\_ Postcode: \_\_\_\_\_

### OWNER DETAILS

Given Names: \_\_\_\_\_

Phone 1: \_\_\_\_\_ Phone 2: \_\_\_\_\_

Email Address: \_\_\_\_\_

Postal Address: \_\_\_\_\_ Postcode: \_\_\_\_\_

### BUILDER DETAILS

Builders Name: \_\_\_\_\_ Builder License No: \_\_\_\_\_

Postal Address: \_\_\_\_\_ Postcode: \_\_\_\_\_

### CONTACT PERSON FOR ALL INFORMATION

Given Names: \_\_\_\_\_

Phone 1: \_\_\_\_\_ Phone 2: \_\_\_\_\_

Email Address: \_\_\_\_\_

Postal Address: \_\_\_\_\_ Postcode: \_\_\_\_\_

## BUILDING RULES CLASSIFICATION

Sought: \_\_\_\_\_ Present: \_\_\_\_\_

If Class 5, 6, 7, 8 or 9 classification is sought, state the proposed number of employees: Male: \_\_\_\_\_ Female: \_\_\_\_\_

If Class 9a classification is sought, state the number of persons for whom accommodation will be provided: \_\_\_\_\_

If Class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises: \_\_\_\_\_

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## LAND DETAILS

Current land use: (eg. residential, commercial) \_\_\_\_\_

Are there any easements? ☐ Yes ☐ No

Are there any regulated/significant trees on the land or adjacent land? ☐ Yes ☐ No

Is there a brush fence within three (3) metres of any proposed building works? ☐ Yes ☐ No

Are there any trees on Council land in the way of works or within 2m of proposed works? ☐ Yes ☐ No

Was the site, to the best of your knowledge and belief, subject to site contamination as a result of a previous use or activity on the land? ☐ Yes ☐ No

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## CERTIFICATE OF TITLE

Have you included a current Certificate of Title (CT) for the subject land? ☐ Yes ☐ No

Do you want Council to purchase a copy of your CT on your behalf? ☐ Yes ☐ No

Council can purchase a copy of the CT for the subject land from the Lands Titles Office for the fee indicated on the Development Application Fee schedule

NB: Assessment will not commence until a current copy of your CT is provided

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## CONSTRUCTION INDUSTRY TRAINING FUND ACT

Has The Construction Industry Training Fund Act 1993 Levy been paid?

☐ Yes (include a copy of your receipt with this application)

☐ No (Payment must be made directly with the Construction Industry Training Board and can be paid online at <http://www.citb.org.au/CITFL Levy/Paylevyonline/PayaLevy.aspx>)

☐ N/A (If development cost is below \$40 000)

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## PRIVACY POLICY

I, \_\_\_\_\_ being the applicant for the development prescribed herein acknowledge that all copies of this application and supporting documentation may be provided to interested persons in accordance with the *Development Regulations 2008*. Information included within this application will be available on Council's website for viewing where Public Notification is required.

Details provided by the applicant, written representations and other technical reports form part of the reports attached to Council agendas. The agenda, minutes and accompanying report is made available on Council's website.

Information, including names and addresses recorded in these documents can therefore be searched by the various website search engines.

Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

☐ Applicant ☐ Owner ☐ Authorised Person

DEVELOPMENT REGULATIONS 2008  
Form of Declaration (Schedule 5 clause 2A)



Government  
of South Australia

To: The Corporation of the Town of Walkerville

DA 200/199/20  
DPC202067440

From:

Date of Application:     /     /

Location of Proposed Development: \_\_\_\_\_

House No: \_\_\_\_\_ Lot No: \_\_\_\_\_ Street: \_\_\_\_\_

Town/Suburb: \_\_\_\_\_

Section No (full/part): \_\_\_\_\_ Hundred: \_\_\_\_\_

Volume: \_\_\_\_\_ Folio: \_\_\_\_\_

Nature of Proposed Development:

I \_\_\_\_\_ being the applicant/ a person acting on behalf of the applicant (delete the inapplicable statement) for the development described above declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of section 86 of the Electricity Act 1996. I make this declaration under clause 2A(1) of Schedule 5 of the Development Regulations 2008.

Signed: \_\_\_\_\_

Date:     /     /



**Government  
of South Australia**

**Note 1**

This declaration is only relevant to those development applications seeking authorisation for a form of development that involves the construction of a building (there is a definition of 'building' contained in section 4(1) of the Development Act 1993), other than where the development is limited to –

- a) an internal alteration of a building; or
- b) an alteration to the walls of a building but not so as to alter the shape of the building.

**Note 2**

The requirements of section 86 of the Electricity Act 1996 do not apply in relation to:

- a) an aerial line and a fence, sign or notice that is less than 2.0 m in height and is not designed for a person to stand on; or
- b) a service line installed specifically to supply electricity to the building or structure by the operator of the transmission or distribution network from which the electricity is being supplied.

**Note 3**

Section 86 of the Electricity Act 1996 refers to the erection of buildings in proximity to powerlines. The regulations under this Act prescribe minimum safe clearance distances that must be complied with.

**Note 4**

The majority of applications will not have any powerline issues, as normal residential setbacks often cause the building to comply with the prescribed powerline clearance distances. Buildings/renovations located far away from powerlines, for example towards the back of properties, will usually also comply.

Particular care needs to be taken where high voltage powerlines exist; or where the development:

- is on a major road;
- commercial/industrial in nature; or
- built to the property boundary.

**Note 5**

An information brochure: 'Building Safely Near Powerlines' has been prepared by the Technical Regulator to assist applicants and other interested persons.

This brochure is available from council and the Office of the Technical Regulator. The brochure and other relevant information can also be found at [sa.gov.au/energy/powerlinesafety](http://sa.gov.au/energy/powerlinesafety)

**Note 6**

In cases where applicants have obtained a written approval from the Technical Regulator to build the development specified above in its current form within the prescribed clearance distances, the applicant is able to sign the form.



REAL PROPERTY ACT, 1886



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



## Certificate of Title - Volume 5240 Folio 859

**DA 200/199/20**  
**DPC202067440****Parent Title(s)** CT 3578/134**Creating Dealing(s)** CONVERTED TITLE**Title Issued** 12/01/1995 **Edition** 11 **Edition Issued** 07/08/2018

## Estate Type

FEE SIMPLE

## Registered Proprietor

DIAMANTIS PROPERTIES PTY. LTD. (ACN: 626 582 590)  
OF 231 MELBOURNE STREET NORTH ADELAIDE SA 5006

## Description of Land

ALLOTMENT 2 FILED PLAN 131754  
IN THE AREA NAMED WALKERVILLE  
HUNDRED OF YATALA

## Easements

NIL

## Schedule of Dealings

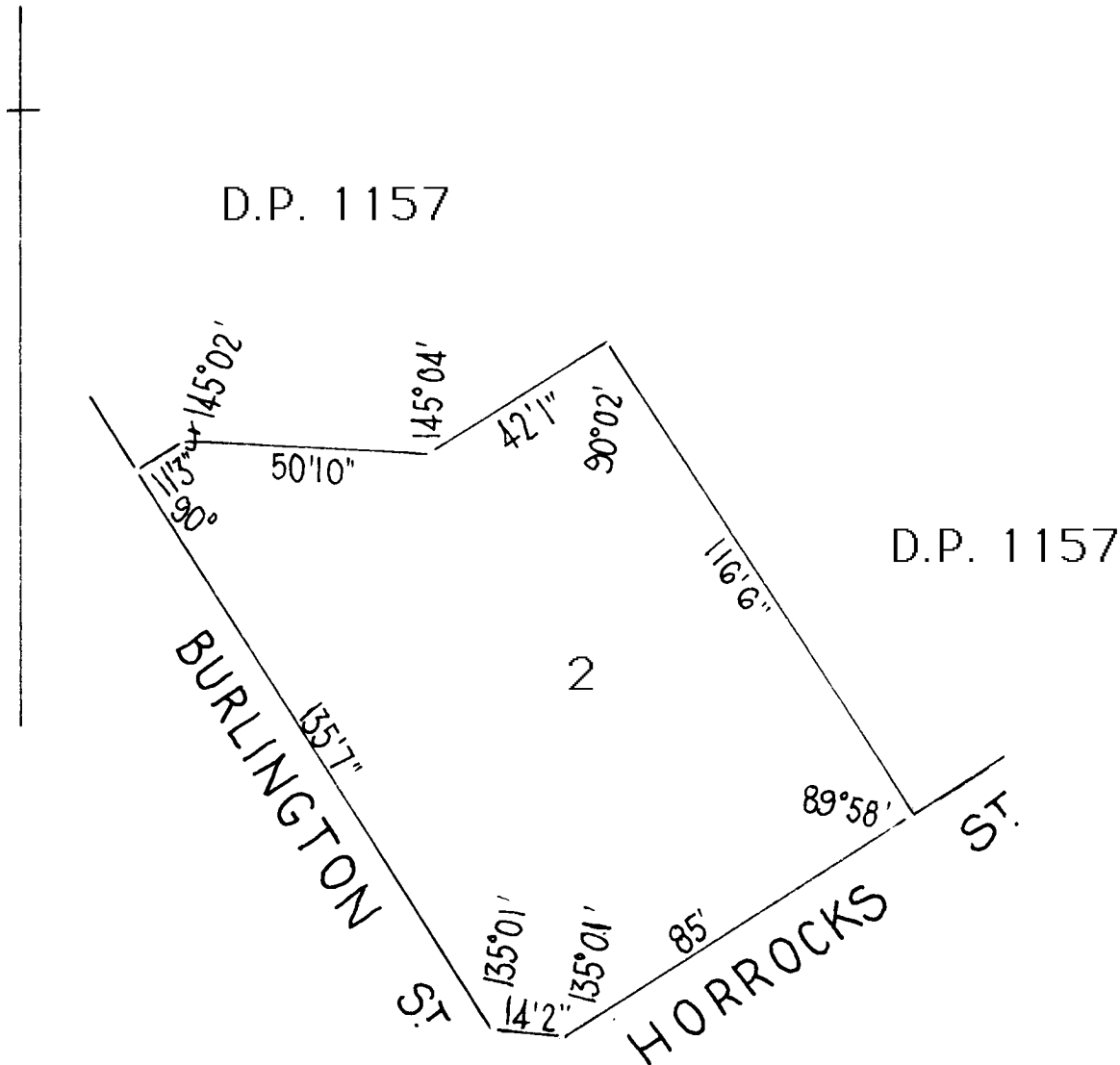
Dealing Number	Description
12961700	MORTGAGE TO NATIONAL AUSTRALIA BANK LTD. (ACN: 004 044 937)

## Notations

**Dealings Affecting Title** NIL**Priority Notices** NIL**Notations on Plan** NIL**Registrar-General's Notes** NIL**Administrative Interests** NIL

This plan is scanned from Certificate of Title 3578/134

LAST PLAN REF : D.P. 1157



50 25 0 50 FT

DISTANCES ARE IN FEET AND INCHES  
FOR METRIC CONVERSION

1 FOOT = 0.3048 metres  
1 INCH = 0.0254 metres

Note : Subject to all lawfully existing plans of division

Ref: 20ADL-0601

2 October 2020

Ms Andreea Caddy  
Group Manager Planning, Environment & Regulatory Services  
Town of Walkerville Council  
66 Walkerville Terrace  
**GILBERTON SA 5081**



**URPS**

**ADELAIDE**  
12/154 Fullarton Road  
ROSE PARK SA 5067  
(08) 8333 7999

**MELBOURNE**  
4 Brunswick Place  
FITZROY VIC 3065  
(03) 8593 9650

www.urps.com.au  
ABN 55 640 546 010

Dear Andreea

## **Construction of a Two-Storey Residential Flat Building comprising Three Dwellings at 23 Burlington Street, Walkerville**

### **Introduction**

URPS has been engaged by the applicant, Genworth Group, to provide advice and prepare this supporting planning statement in respect to the above project.

This planning statement seeks to address the pertinent planning considerations of the Development Plan and has been prepared following our review of:

- The proposal plans prepared by Genworth Group dated 22 September 2020.
- The subject land and the locality, and
- The relevant provisions of the Walkerville Council Development Plan, consolidated 6 October 2016.

### **Background**

Council previously approved an application for two dwellings at the subject land, which included demolition of the existing two-storey dwelling and ancillary structures.

The approved dwellings had a modern form, characterised by clean, simple lines and a flat roof design. Access and parking arrangements were virtually identical to this new proposal. Copies of this previous approval are contained within **Appendix A**.

### **Subject Land and Locality**

The subject land is legally described as Certificate of Title Volume 5240 Folio 859. It comprises a large allotment with an area measuring approximately 1,110 square metres.

The land has street frontage to both Burlington Street and Hay Street measuring 41.3 metres and 26 metres respectively. A corner cut-off of approximately four metres applies to the site.

An existing two-storey, modern style dwelling occupies the land which has had demolition approval. A double-car garage is positioned in the south-east corner of the land, accessed via an existing crossover from Hay Street. Dense foliage covers the front fence with a pedestrian opening at the centre of the Burlington Street frontage.

The locality is exclusively residential in nature. Allotment sizes, dwelling forms and architectural styles vary considerably such that no consistent or cohesive character exists. Much of the locality is located within the Residential Zone, however pockets of Residential Character Zone are featured within this locality.

Positive features of the locality include:

- The consistently planted street trees.
- Moderately landscaped gardens.
- High standard of building design.

## The Proposal

### Summary

The proposal involves the following:

- Demolition of the existing dwelling, garage and shed.
- Construction of a two-storey residential flat building comprising three dwellings.
- Individual pedestrian walkway to front entry.
- Stone pillars measuring 1.4 metres in height at pedestrian entry point.
- Replacement of existing Hay Street crossover to enable adequate two-way vehicle movement, and
- In-ground swimming pool.
- Associated landscaping.

### Design Approach, Materials and Finishes

The proposed building seeks to take advantage of its dual frontage and existing crossover location from Hay Street in creating a residential flat building with a high standard of building design and internal living amenity. The secondary road access allows an improved presentation to the street, in that garaging does not front either public roads.

The facades of each dwelling will have a reduced/lower presence due to the existing ground level of the land being some four metres below the Burlington Road footpath/road reserve.

The two-storey element has been thoughtfully positioned towards the Burlington Street frontage, resulting in the highest portion of the building at the lowest part of the site, i.e. away from the nearest dwelling.

The proposal has been designed with a contemporary take on traditional early 1900's terrace style homes, and is characterised predominantly by:

- Gable roofing clad in Colorbond 'stealth' steel in a grey colour.
- Medium-High solid to void ratio.
- Primarily sand-stone veneer facades/external walls, and
- Maintenance of the existing vegetated front and side fence to road boundaries.

## Procedural Matters

The subject land falls into the Residential Zone ("Zone") Central Policy Area 6 ("PA 6") as identified on Zone Map Walk/3 and Policy Area Map Walk/3 in the Walkerville Council Development Plan.

The proposed development is not listed as either a non-complying or complying development in the Zone and is therefore the subject of an 'on-merit' assessment.

The Zone's public notice section specifies that categories of public notification are prescribed in Schedule 9 of the Development Regulations, 2008.

As provided by Part 2, 18, Schedule 9 the Development Regulations, 2008 (extract below), Category 2 public notification is required for the proposal.

**Except where the development falls within Part 1 of this Schedule, is within the City of Adelaide, or is classified as non-complying development under the relevant Development Plan, any development which consists of the construction of the following, or a change of land use consequent on the construction of the following:**

- (a) 1 or more buildings of 2 storeys comprising dwellings; or**
- (b) 2 or more dwellings on the same site where at least 1 of those dwellings is 2 storeys high, but no residential building is to be more than 2 storeys high.**

## Planning Assessment

### Use of the Land

The Zone envisages a 'range of dwelling types' per Objective 1 of the Residential Zone. PDC 1 contemplates 'dwellings' as an appropriate use of the land. The Zone's Desired Character further states that the area will.... *"continue to meet the needs of an increasingly diverse population through the provision of a range of dwelling types at varied densities, together with some community facilities such as child care centres"*.

The proposal provides for greater housing diversity and density in an area where there are typically large dwellings on large allotments. Therefore, the proposal is an appropriate and desirable use of the land that adds to housing diversity, as envisaged by the Zone.

### Density

As provided by Policy Area 6 PDC 4, residential flat buildings should have a minimum frontage of 20 metres and an averaged site area of 350 square metres per dwelling. The proposal comfortably satisfies these numerical guidelines as the averaged site area for each dwelling is 370 square metres and the width of the allotment is more than 20 metres. Therefore, the density of the development is entirely appropriate.

### *Desired Character*

PA 6 is to have a primarily low-density residential character with detached dwellings on allotments that are medium to narrow in width. The re-development of the subject land, a single site, will not materially change the character of the locality and indeed the Policy Area as a whole.

The Desired Character also encourages residential flat buildings to be established on amalgamated sites which, whilst not an amalgamated site, the land area is large, and as such the building has been designed with adequate 'space' around the building i.e. provided along both street frontages and provided at the site's northern end

The Policy Area envisages the replacement of "older dwellings" with new dwellings of compatible scale, form and style that build on the positive features of the locality which the proposal achieves because:

- The proposal will be compatible with the height and scale of nearby development in the locality and in the Policy Area more generally where there are many large, two-storey dwellings.
- The combined facade width of the proposal is virtually identical to the combined façade width of the previous approval on the land.
- The Burlington Street elevation has a front setback reflective of the existing dwelling on the land and is virtually identical to the approved setback of the previous proposal on the land.
- The proposal builds on positive features of the locality, such that:
  - > It presents to Burlington Street and Hay street as a unified series of two storey dwellings, which reflects existing built form within the locality.
  - > Landscaped qualities (in both public and private land) that positively contribute to the locality are maintained by this development, and
  - > The finish of the proposed building is of a high architectural quality, which is consistent with the quality of existing built form in the locality.

The Desired Character statement also states that:

**The landscape setting is an important element of the character of the policy area, with dwellings generally set in open, well vegetated streetscapes achieved through a combination of public and private plantings and low fencing forward each dwelling. New residential development will be provided with sufficient space for landscaping to be established to the front, sides and rear of buildings so as to complement this existing character. This is particularly important where the development results in a reduced frontage width to that typically found within the locality. In such circumstances, carefully designed landscaping and fencing between the building facade and the front property boundary will disguise the reduced frontage widths of new development. This can be achieved by reducing driveway widths and paved areas, as well as low and/or open styled fencing along the entire frontage of the site. Fencing forward of the building line, between the new dwellings, or along common driveways will be avoided unless low in height and/or open in nature.**

In satisfaction of the above:

- Substantial side setbacks are displayed by the building footprint. The side elevations are articulated and varied in materials creating interesting facades as viewed from the road and adjoining land.

- The spatial arrangements of the proposal support meaningfully landscaped garden areas around the dwellings, satisfying the expectations that sites be well vegetated to enhance streetscape quality and character.
- Maintenance of the existing vegetated front and side fence to road boundaries will ensure the landscaped qualities of the street are retained. Minimal fence elements are proposed to define the sites.

## Setbacks

### Front Setbacks

Front setbacks displayed by the proposed development are appropriate. The setback displayed by the proposal is similar to the existing dwelling on the land, and other large dwellings located at the corner of two roads. For example, the substantial, two-storey building located at the corner of Burlington Street and Walkerville Terrace shares similar setbacks to those proposed by this application.

In any event, buildings within the locality are varied in their road boundary setback, with no apparent cohesive setback identified. Whilst building setbacks to road boundaries vary, setbacks of anywhere between three to eight metres are typically displayed in this streetscape. The proposed building is setback between 4-4.7 metres to Burlington Street, and between 3.9-4.5 metres from the Hay Street boundary. The proposed therefore reflects the general setbacks that can be identified.

### Side and Rear Setbacks

Visual amenity afforded to adjoining residents will be maintained by this development. The proposed two storey building is setback substantially from adjoining residential allotments such that typical impacts arising from two-storey buildings are alleviated. Furthermore, dwellings on adjoining land to the north-east and south-east are deeply separated by the proposed dwelling which is due to the location of the subject land at the corner of two roads.

The tallest portion of the building is positioned furthest from adjoining dwellings. Burlington Street and Hay Street elevations include its tallest element towards the Burlington Street portion of the land, such that it is deeply separated from adjoining dwellings. The closest building element to the adjoining rear boundary comprises unroofed balconies, which are setback 2.7 metres. The tallest portion of the building comprising the gable ends is setback more than 17 metres from the rear boundary.

### Site Coverage

The proposed building footprint achieves site coverage criteria in that sufficient space is provided:

- To enable pedestrian entry via walking link to entry level.
- So that garaging is accessed by a wide driveway at the rear of the site, via an existing crossover.
- To comfortably accommodate clothes drying, bin storage and rain water tank areas for each dwelling.
- For adequate private open space per Development Plan guidelines.
- The building setbacks respond to the varied setbacks displayed within the locality.



### *Private Open Space*

The proposed dwellings satisfy the private open space provisions for dwellings in a residential flat building. The Development Plan seeks for dwellings with ground level habitable rooms to include a minimum calculation of 20 percent of the site area as private open space. The application satisfies the private open space requirements for residential flat buildings. 'Residence 01, 02 and 03' should therefore include 83 square metres, 58 square metres and 81 square metres respectively.

Each dwelling includes an area exclusively for the private outdoor use by future residents at ground level. It also includes the proposed balconies, which each have an area of 30.5 square metres. 'Residence 01, 02 and 03' have private open space areas measuring 149, 63.8 and 156.3 square metres respectively.

The private open space associated with the dwellings is at ground level and is positioned to the north-western side of the land. Further to this, the proposed balconies and rear elevation living areas will also achieve optimal sunlight access.

### *Sunlight Access*

Sunlight access into the main living areas of the dwellings is achieved, and furthermore the proposed development does not impact on sunlight access to dwellings on adjoining land. Overshadowing will not significantly impact residents of adjoining land.

Due to the orientation of the land, overshadowing from the development accords with the relevant provisions of the Development Plan in that:

- During the morning, shadow will be cast onto Burlington Street,
- During the early afternoon shadow will be cast onto Hay Street, and
- During the middle-late afternoon shadow will be cast onto the on the subject land and potentially onto the driveway and garage roof on the adjoining land at 3 Hay Street at the winter solstice.

### *Privacy*

Direct overlooking from the proposed balconies is restricted due to the inclusion of fixed screening and separation to adjoining land. Balconies attached to the rear elevation of each dwelling are setback 1.8 metres, 5.3 metres and 2.7 metres from the side and rear boundaries respectively. Privacy screening comprising a 1.7-metre-high rendered wall, which spans along the north-western side and north-eastern rear elevations of the balconies. One metre high obscure glazing will be fixed to the south-eastern portion of the balcony associated with 'Residence 01' which lays adjacent to Hay Street.

Overlooking from the southern most balcony will be limited to the subject land and adjacent Hay Road. The balcony edge is setback 5.3 metres from the Hay Street kerb, 23.6 metres from the adjacent property boundary and 28.5 metres from the Hay Street façade of that adjacent dwelling. Reasonably privacy of adjoining residents is therefore achieved.



### **Traffic and Car Parking**

All dwellings have safe and convenient access and on-site car parking that satisfies the Development Plan.

The ground level site plan clearly indicates that vehicles in the 85<sup>th</sup> percentile can satisfactorily manoeuvre out of internal parking spaces within the driveway aisle space.

Two off-street parking spaces per dwelling are required, and as there are only three dwellings within the proposed residential flat building no visitor spaces are required. Each dwelling includes space for the covered parking of three vehicles. As such, off-street car parking is achieved.

### **Conclusion**

Having reviewed the relevant provisions in the Development Plan, together with an analysis of the subject land and locality, the proposed development is considered to sufficiently accord with the intent of the relevant policy.

The proposed residential flat building, comprising three dwellings, will comfortably sit on the land and achieve the desired standard of built form character expected within this locality. The dwellings have been sited to ensure appropriate spacing, optimal internal living arrangements and ideal vehicle access that utilises an existing crossover but also reduces visible garaging.

The proposal satisfies provisions relating to site area, frontage width, setbacks, site coverage, private open spaces, sunlight access, privacy and traffic and car parking.

For the reasons outlined within this report we are of the view that the proposed development adequately satisfies the relevant provisions of the Development Plan and hence Development Plan Consent is warranted.

Please feel free to Theresa James in the first instance on 8333 7999 should you have any questions.

Yours sincerely



Theresa James  
**Associate**



Matthew King RPIA  
**Managing Director**

## **APPENDIX A**

### **Previous Approval**

Ref: 20ADL-0601



14 January 2021

Carly Walker  
Senior Planner  
The Corporation of the Town of Walkerville  
By email: CWalker@walkerville.sa.gov.au

**ADELAIDE**  
12/154 Fullarton Road  
ROSE PARK SA 5067  
(08) 8333 7999

**MELBOURNE**  
4 Brunswick Place  
FITZROY VIC 3065  
(03) 8593 9650

www.urps.com.au  
ABN 55 640 546 010

Dear Carly

## **Response to Further Information Request DA 200/199/30 – 23 Burlington Street, Walkerville**

### **Amended Plans**

Thank you for your letter dated 30 October 2020 in which you provide preliminary comments regarding the proposed development and request additional information.

With respect to the further information, we provide amended drawings which include:

- An indicative allotment 'plan' illustrating the proposed individual allotment dimensions, their party wall locations and the area set aside for common or 'community' land (including easement provisions).
- A site survey, which illustrates existing site contours/levels and existing buildings to be demolished.
- A site plan, which indicates:
  - > Proposed bench levels (BL)
  - > Proposed finished floor levels (FFL)
  - > Proposed paving levels (PL)
  - > Location of proposed retaining walls
  - > Driveway falls on the subject land and across the Council verge
  - > Vehicle turning paths (we will provide you with hard copy scale drawings of this)
  - > Pool pump location including enclosure
  - > Refuse storage and clothes drying
- A storm water plan illustrating the method and direction of stormwater flow.
- A landscaping plan that includes a species schedule.
- A landscaping plan indicating landscaping at entry/upper level.
- Elevation drawings of proposed retaining walls and fencing.
- Pool pump enclosure added to elevation drawings, and

- Engineering statement confirming the construction of the associated pedestrian walkways to each dwelling are integral to the construction of the building, and as such form part of each respective dwelling.

We trust that the above additions to the planning documentation enable you to undertake your full planning assessment.

### The Proposal is Category 2 not Category 3

In your letter you advise that the proposed walkway bridges may default to a Category 3 form of public notification.

To provide further clarity on this aspect of the proposal, we offer the following information:

- These pedestrian walkways are merely to operate as pedestrian pathways associated with their respective dwelling. They enable safe pedestrian access to each level from Burlington Street.
- The enclosed engineering advice identifies these features as integral to the construction of the overall 'building' in that they will be directly connected to the building, with shared footings and all concrete pours will occur concurrently, and
- The proposed pedestrian walkways form part of the building, rather than sit in isolation of the building and as such should be described as part of their associated dwelling.

On the above basis we are of the view that these are not separate or distinct elements and rather are integral parts of the construction of the dwellings such that no separate public notice category should be assigned to them.

In the event you disagree and take the view that these features do not form part of their respective dwellings, Council has the option to classify them as minor in nature and Category 1 pursuant to Clause 2 (g) Part 1, Schedule 9 the Development Regulations 2008.

In our respectful view it would be appropriate (should you consider them separate elements) to consider these features minor and not likely to unreasonably impact owners/occupiers in the locality because:

- They each comprise an area of less than 10 square metres, are small in size and offer no overshadowing impacts nor give rise to any overlooking impacts,
- Each pathway is used in association with respective dwelling and not for an unrelated or different use,
- Their paved level is equal to the adjacent kerb level,
- The existing dwelling has a similar walkway configuration, and
- The proposed walkways will not be visible beyond the site given the presence of an existing hedge that borders the land, which is to be maintained.

### Planning Considerations

#### *Desired Character*

Your letter raises concerns with respect to the scale of the proposed development due to its setting within a group of older style dwellings because the policy says in such instances, the scale of older dwellings ought to be respected.

We hold a different view with respect to the application of this policy in that we do not believe there is a prevalence of older style buildings within this particular locality. From our assessment the locality is very much mixed with regards to the era of construction.

As a result, building styles within the immediate locality are not, by our assessment, consistent in height, scale, or setback to the road boundary. With such an eclectic mix of features, including many contemporary forms, development on this land is less restricted.

The above said, the proposal is an appropriate 'fit' in a general streetscape sense because:

- The height of the building above the Burlington Street carriageway level is consistent with many dwellings in the street by our assessment and likely less than some of the nearby two-storey dwellings in the locality which have frontage to Burlington Street. The streetscape diagram prepared by Genworth indicates that it is compatible with the single storey dwelling to the south-east. Further, we note there are substantial dwellings within the immediate locality, including on the adjoining land to the north-west and at 33 Burlington Street,
- Only a small portion of the development will be higher than 9 metres above street level. From the public road it will be visible from the south-east corner of Burlington Street and Hay Street. This taller elevation spans for a short length of 7 metres. It includes several window openings and is finished in sandstone, which is visually soft. Furthermore, dense vegetation in the form of a hedge will further soften the elevation,
- The proposed building includes two roof pitches. The rear portion of the building has a lower roof pitch at 30 degrees, with the front portion steeper at 45 degrees. We acknowledge the steeper roofing associated with the front elevation of the dwellings; however, we believe it is acceptable because:
  - > It suitably is traditional which the policy supports,
  - > 45-degree roofing can be found on traditional buildings,
  - > The greater proportion of stone walling associated with the building façade reduces its visual presence, and
  - > Roof sheeting is divided by stone party walls.

### *Side and Rear Setbacks*

We note the side and rear boundary setback guidelines of 2 metres and 8m respectively. We believe the proposed setbacks displayed by the development are adequate because:

- Only a very small portion of the side elevation is setback less than 2 metres from the side boundary,
- The portion of the side elevation that is setback less than 2 metres lays adjacent very large open space associated with the adjoining dwelling, rather than a small, confined area,
- The setbacks displayed by the proposed development will have no impact on reasonable sunlight access to any neighbour,
- The rear elevation of the dwellings are setback 7 metres from the rear boundary, which is the side boundary of the adjoining neighbour fronting 3 Hay Street. At one metre, this discrepancy is minor.
- Whilst the proposed balconies encroach closer to rear boundary, they are not dominant structures in that:
  - > They have an overall height of 1.7 metres,
  - > Their enclosure comprises horizontal timber slats, a soft material and not visually harsh,
  - > Planter boxes allow for vegetation plantings that improve visual amenity, and

- > Sight line diagrams indicate that the proposed balconies and screens will not be visible from the neighbours' outdoor area immediately adjacent the balconies, and only slightly visible at views deeper within their yard space.
- The rear boundary of the subject land is the side boundary of the adjoining neighbour's land. As such, one could reasonably expect a reduced building setback adjacent this boundary given it is also a side boundary.

For the reasons outlined above the setbacks displayed by the proposed development satisfy the intent of relevant Development Plan policies.

### **Privacy**

All upper-level windows associated with the western side elevation of the building are now fitted with fixed obscure glazing to 1.8 metres above the floor level.

The proposed balcony screens will prevent overlooking from the internal doors associated with the living/meals/kitchen areas.

### **Conclusion**

In response to your letter dated 30 October 2020 we submit amended drawings, which enable a full planning assessment. In addition, the engineering advice confirms that the proposed walkways form part of respective dwellings rather than separate elements. On the above basis, this development application should be processed as a Category 2 development.

Furthermore, in relation to the planning matters you raised, we believe the overall scale, form and siting of the proposed building is appropriate in this circumstance.

For the reasons outlined above, we believe this development warrants your support and that development plan consent should be granted.

Yours sincerely



Theresa James  
**Associate**



January 11<sup>th</sup>, 2021

Carly Walker  
Senior Planner  
Town of Walkerville  
PO Box 55, Walkerville SA 5081

Dear Carly,

**Re: DA 200/199/20  
Demolition of the existing detached dwelling and  
construction of 3 x two storey semi-detached dwellings**

Further to my letter dated October 3<sup>rd</sup>, 2019 regarding the proposed development on this site, I can confirm that I have viewed the walkway and construction system proposed for the attached dwellings.

I can confirm that:

- The cast insitu monolithic concrete walkway will be directly connected in to and will therefore be integral with the construction of the dwellings.
- The formwork for the walkway and the dwelling footings will be formed up concurrently.
- The first concrete pour will occur concurrently.
- The external wall of the dwelling where the walkway connects to will be constructed of 350 mm thick core-filled reinforced masonry which forms one support of the insitu reinforced concrete walkway slab, the other support of which is the 300 mm thick cast insitu monolithic concrete wall.

The proposed amendments are consistent with the originally proposed structure in location, scale and integration with the overall building fabric, albeit built with a change of material

Yours Sincerely

**AUSTRUCT CONSULTING ENGINEERS PTY LTD**

Per

A handwritten signature in black ink, appearing to read "Stathi Tsoukalas", is positioned below the "Per" text.

Stathi Tsoukalas, B. Eng., M.I.E (Aust)  
Ref No: 19/160 (C)





Artist's Impression Only



View from Hay Street

# New Residences

## 23 Burlington Street Walkerville

### DRAWING LIST

DRAWING NAMES	DRAWING NO.	REVISION	AREA SCHEDULE			
COVER PAGE	SK01	06	TOTAL SITE AREA: 1,110.3 m <sup>2</sup>			
SITE SURVEY	SK02	06	<b>RESIDENCE 01</b>			
SITE PLAN	SK03	06	SITE AREA	415.1	<b>RESIDENCE 02</b>	<b>RESIDENCE 03</b>
GROUND FLOOR PLAN	SK04	06	BALCONY	33.1	SITE AREA	405.5
FIRST FLOOR PLAN	SK05	06	ENTRY	11.5	BALCONY	33.1
ELEVATIONS 1	SK06	06	GARAGE	64.4	ENTRY	11.5
ELEVATIONS 2	SK07	06	LIVING (LOWER)	90.7	GARAGE	63.1
FENCE ELEVATIONS	SK08	06	LIVING (UPPER)	164.0	LIVING (LOWER)	111.7
FENCE ELEVATIONS (CONT)	SK09	06	LOGGIA	21.0	LIVING (UPPER)	164.0
STREET ELEVATIONS	SK10	06	RETREAT (UPPER)	17.5	LOGGIA	21.0
VISUAL IMPACT STUDY A	SK11	06			RETREAT (UPPER)	17.5
VISUAL IMPACT STUDY B	SK12	06				
INDICATIVE STORM WATER PLAN	SK13	06				
INDICATIVE ALLOTMENT PLAN	SK14	06				
LANDSCAPE PLAN (LOWER FLOOR)	SK15	06				
LANDSCAPE PLAN (UPPER FLOOR)	SK16	06				

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT



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**SITE DEMOLITION LEGEND**

 EXISTING RESIDENCE TO BE DEMOLISHED

NOTE: ALL EXISTING VEGETATION  
SHOWN DASHED TO BE REMOVED



ISSUE	REVISION	DATE
04	DEVELOPMENT PLAN CONSENT	25/11/2020
05	DEVELOPMENT PLAN CONSENT	9/12/2020
06	DEVELOPMENT PLAN CONSENT	18/12/2020

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PROJECT: New Residences  
23 Burlington Street Walkerville

DRAWING TITLE :

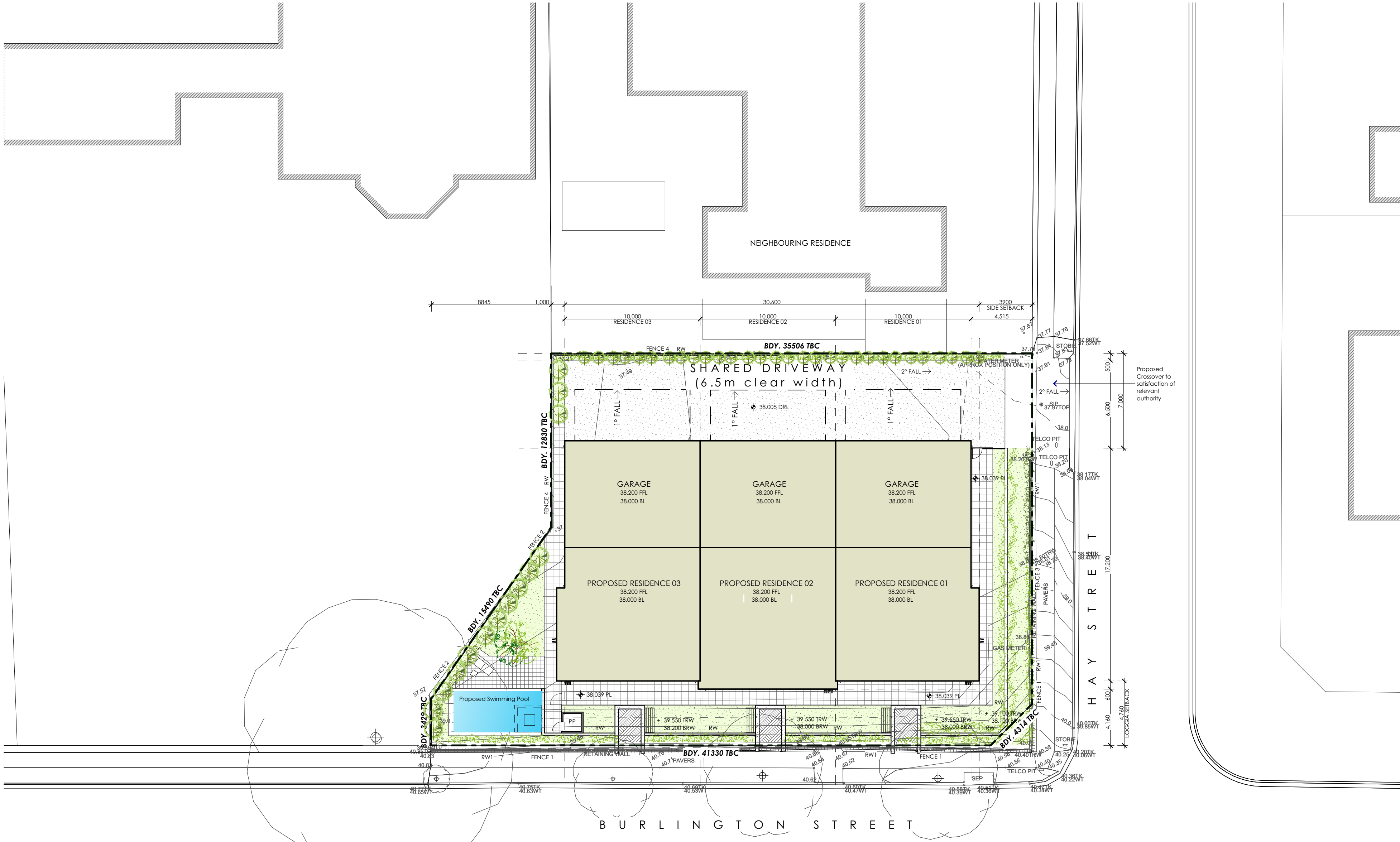
## SITE SURVEY

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PAPER SIZE: A2

PRINT DATE: 18/12/2020

JOB No: 3339	DWG No: SK02
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- SITE PLAN LEGEND**
- PROPOSED RESIDENCE
  - PROPOSED PAVING
  - FUTURE LANDSCAPING BY OWNER
  - RWT 1000L SLIMLINE TANK
  - CL RETRACTABLE CLOTHES LINE

- POOL LEGEND**
- PROPOSED SWIMMING POOL
  - PP POOL PLANT EQUIPMENT
  - PSF POOL SAFETY FENCE
- NOTE: POOL PLANT EQUIPMENT INSTALLED IN AN ACOUSTIC ENCLOSURE TO COMPLY WITH EPA GUIDELINES (LESS THAN 45DB BETWEEN 10PM & 7AM) WHEN MEASURED AT THE RECEIVER'S PREMISES IN ACCORDANCE WITH THE REQUIREMENTS OF THE NOISE POLICY

- FENCE SCHEDULE**
- FENCE 1 EXISTING FENCE & HEDGE MAINTAINED
  - FENCE 2 EXISTING FENCE MAINTAINED
  - FENCE 3 NEW FENCE & HEDGE TO MATCH EXISTING
  - FENCE 4 2100H COLORBOND GOODNEIGHBOUR FENCE ON RETAINING WALL BELOW. RETAINING WALL GRADES FROM 200MM TO 700MM IN NATURAL CONCRETE FINISH
  - FENCE 5 2100H COLORBOND GOODNEIGHBOUR FENCE
  - FENCE 6 1800H WESTERN RED CEDAR TIMBER SCREEN
  - RW1 EXISTING RETAINING WALL MAINTAINED
  - RW PROPOSED RETAINING WALL (MAX. 1M HIGH)
  - TRW TOP OF RETAINING WALL
  - BRW BOTTOM OF RETAINING WALL
  - PL PAVING LEVEL
  - DRL DRIVEWAY LEVEL
  - FFL PROPOSED FINISH FLOOR LEVEL
  - BL PROPOSED BENCH LEVEL

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT

ISSUE	REVISION	DATE
05	DEVELOPMENT PLAN CONSENT	9/12/2020
06	DEVELOPMENT PLAN CONSENT	18/12/2020

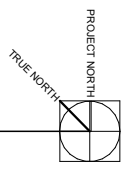
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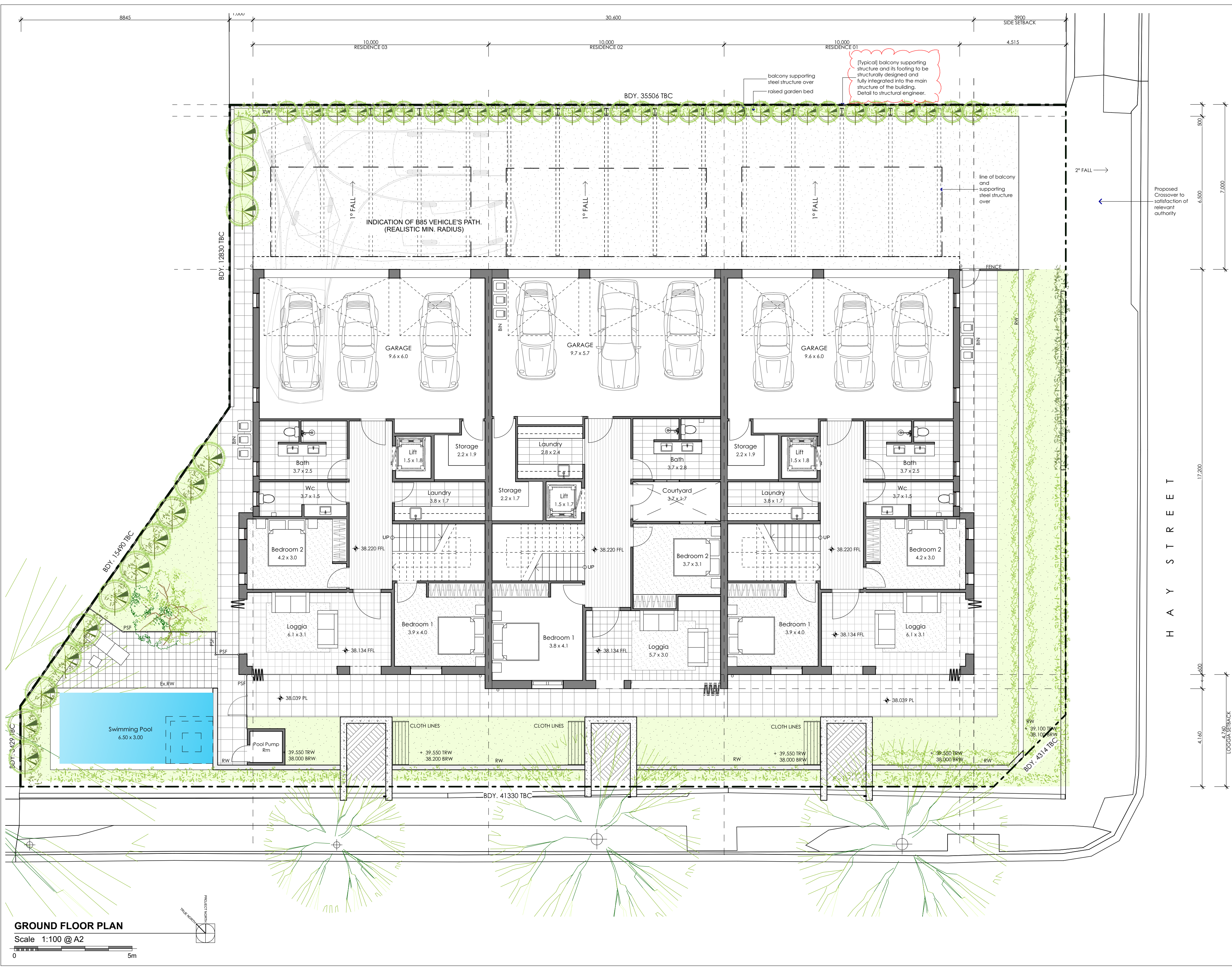
DRAWING TITLE :  
**SITE PLAN**  
PAPER SIZE: A2  
PRINT DATE: 13/01/2021  
JOB No: 3339 DWG No: SK03

**SITE PLAN**

Scale 1:200@ A2







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© COPYRIGHT RESERVED		
RESIDENCE 01		
SITE AREA	415.1	
BALCONY	33.1	
ENTRY	11.5	
GARAGE	64.4	
LIVING (LOWER)	90.7	
LIVING (UPPER)	164.0	
LOGGIA	21.0	
RETREAT (UPPER)	17.5	
	402.2 m <sup>2</sup>	
RESIDENCE 02		
SITE AREA	289.6	
BALCONY	33.5	
ENTRY	10.1	
GARAGE	63.4	
LIVING (LOWER)	96.1	
LIVING(UPPER)	164.8	
LOGGIA	20.0	
RETREAT (UPPER)	18.7	
	406.6 m <sup>2</sup>	
RESIDENCE 03		
SITE AREA	405.5	
BALCONY	33.1	
ENTRY	11.5	
GARAGE	63.1	
LIVING (LOWER)	111.7	
LIVING (UPPER)	164.0	
LOGGIA	21.0	
RETREAT (UPPER)	17.5	
	421.9 m <sup>2</sup>	
RETAINING WALL LEGEND		
RW	PROPOSED RETAINING WALL (MAX. 1M HIGH)	
TRW	TOP OF RETAINING WALL	
BRW	BOTTOM OF RETAINING WALL	
PL	PAVING LEVEL	
DRL	DRIVEWAY LEVEL	
FFL	PROPOSED FINISH FLOOR	
POOL LEGEND		
	PROPOSED SWIMMING POOL	
PP	POOL PLANT EQUIPMENT	
PSF	POOL SAFETY FENCE	
NOTE: POOL PLANT EQUIPMENT INSTALLED IN AN ACOUSTIC ENCLOSURE TO COMPLY WITH EPA GUIDELINES (LESS THAN 45DB BETWEEN 10PM & 7AM) WHEN MEASURED AT THE RECEIVER'S PREMISES IN ACCORDANCE WITH THE REQUIREMENTS OF THE NOISE POLICY		
ISSUED FOR DEVELOPMENT PLAN CONSENT-REV01		
ISSUE	REVISION	DATE
05	DEVELOPMENT PLAN CONSENT	9/12/20
06	DEVELOPMENT PLAN CONSENT	18/12/20
07	DEVELOPMENT PLAN CONSENT-REV01	21/1/21
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CLIENT: DIAMANTIS DEVELOPMENTS		
PROJECT: New Residences 23 Burlington Street Walkerville		
DRAWING TITLE :		
GROUND FLOOR PLAN		
PAPER SIZE: A2		
PRINT DATE: 21/1/21		
JOB No: 3339		DWG No: SK04





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#### RESIDENCE 01

SITE AREA	415.1
BALCONY	33.1
ENTRY	11.5
GARAGE	64.4
LIVING (LOWER)	90.7
LIVING (UPPER)	164.0
LOGGIA	21.0
RETREAT (UPPER)	17.5
	402.2 m <sup>2</sup>

#### RESIDENCE 02

SITE AREA	289.6
BALCONY	33.5
ENTRY	10.1
GARAGE	63.4
LIVING (LOWER)	96.1
LIVING(UPPER)	164.8
LOGGIA	20.0
RETREAT (UPPER)	18.7
	406.6 m <sup>2</sup>

#### RESIDENCE 03

SITE AREA	405.5
BALCONY	33.1
ENTRY	11.5
GARAGE	63.1
LIVING (LOWER)	111.7
LIVING (UPPER)	164.0
LOGGIA	21.0
RETREAT (UPPER)	17.5
	421.9 m <sup>2</sup>

#### MATERIALS SCHEDULE

OG	OPAQUE GLAZING
GB	GLAZED BALUSTRADE
TB	TIMBER SLATS BALUSTRADE

#### ISSUED FOR DEVELOPMENT PLAN CONSENT-REV01

ISSUE	REVISION	DATE
05	DEVELOPMENT PLAN CONSENT	9/12/20
06	DEVELOPMENT PLAN CONSENT	18/12/20
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DRAWING TITLE :

#### FIRST FLOOR PLAN

PAPER SIZE: A2

PRINT DATE: 21/1/21

JOB No: 3339 DWG No: SK05

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## MATERIALS SCHEDULE

WF-01	SAND STONE VENEER. COLOUR: TBC
WF-02	RENDER FINISH. SOLVER COLOUR: DOESKIN 2724
WF-03	RENDER FINISH. SOLVER COLOUR: DOESKIN 2724
EF-01	ENTRANCE CANOPY. RENDER FINISH, COLOUR TBC
SF-04	POWER COATED STEEL. CHARCOAL COLOUR
GU-01	HALF ROUND FLATBACK GUTTER. COLOUR: TBC
GU-02	STRATCO COLOURBOND GUTTER. COLOUR: TBC
RF-01	COLORBOND STEALTH ROOF FINISH COLOUR: TBC
RWH	COLORBOND RAIN WATER HEAD COLOUR: TBC
OG	OPAQUE GLAZING
GB	GLAZED BALUSTRADE
T8	TIMBER SLATS BALUSTRADE

Scale 1:100



Scale 1:100

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT-REV01

ISSUE	REVISION	DATE
05	DEVELOPMENT PLAN CONSENT	9/12/20
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07	DEVELOPMENT PLAN CONSENT-REV01	21/1/21

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DRAWING TITLE :

ELEVATIONS 1

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PAPER SIZE: A2

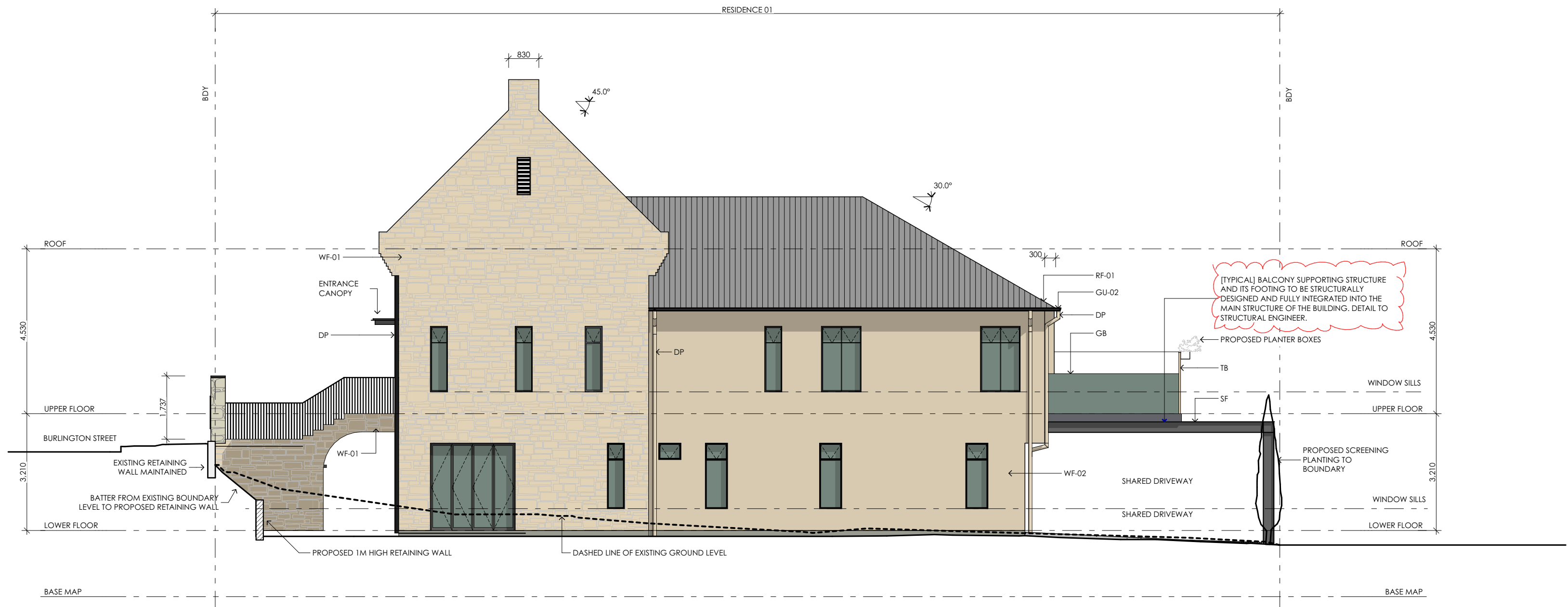
PRINT DATE: 21/1/21

JOB No: 3339	DWG No: SK06
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**NORTH ELEVATION**  
Scale 1:100



**EAST ELEVATION**  
Scale 1:100

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WF-01	SAND STONE VENEER. COLOUR: TBC
WF-02	RENDER FINISH. SOLVER COLOUR: DOESKIN 2724
WF-03	RENDER FINISH. SOLVER COLOUR: DOESKIN 2724
EF-01	ENTRANCE CANOPY. RENDER FINISH, COLOUR TBC
SF-04	POWER COATED STEEL. CHARCOAL COLOUR
GU-01	HALF ROUND FLATBACK GUTTER. COLOUR: TBC
GU-02	STRATCO COLOURBOND GUTTER. COLOUR: TBC
RF-01	COLORBOND STEALTH ROOF FINISH COLOUR: TBC
RWH	COLORBOND RAIN WATER HEAD COLOUR: TBC
OG	OPAQUE GLAZING
GB	GLAZED BALUSTRADE
TB	TIMBER SLATS BALUSTRADE

NOTE: ALL FENCING HIDDEN FOR  
CLARITY. REFER TO FENCE  
ELEVATIONS FOR DETAILS

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DEVELOPMENT PLAN  
CONSENT-REV01**

ISSUE	REVISION	DATE
05	DEVELOPMENT PLAN CONSENT	9/12/20
06	DEVELOPMENT PLAN CONSENT	18/12/20
07	DEVELOPMENT PLAN CONSENT-REV01	21/1/21

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**ELEVATIONS 2**  
PAPER SIZE: A2  
PRINT DATE: 21/1/21  
JOB No: 3339 DWG No: SK07

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MATERIALS SCHEDULE

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COLOUR: TBC
- WF-02 RENDER FINISH.  
SOLVER COLOUR:  
DOESKIN 2724
- WF-03 RENDER FINISH.  
SOLVER COLOUR:  
DOESKIN 2724
- EF-01 ENTRANCE CANOPY.  
RENDER FINISH. COLOUR  
TBC
- SF-04 POWER COATED STEEL.  
CHARCOAL COLOUR
- GU-01 HALF ROUND FLATBACK  
GUTTER. COLOUR: TBC
- GU-02 STRATCO COLOURBOND  
GUTTER. COLOUR: TBC
- RF-01 COLORBOND STEALTH  
ROOF FINISH  
COLOUR: TBC
- RWH COLORBOND RAIN  
WATER HEAD  
COLOUR: TBC
- OG OPAQUE GLAZING
- GB GLAZED BALUSTRADE
- TB TIMBER SLATS BALUSTRADE

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ELEVATIONS FOR DETAILS

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT

ISSUE	REVISION	DATE
04	DEVELOPMENT PLAN CONSENT	25/11/2020
05	DEVELOPMENT PLAN CONSENT	9/12/2020
06	DEVELOPMENT PLAN CONSENT	18/12/2020

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FENCE ELEVATIONS

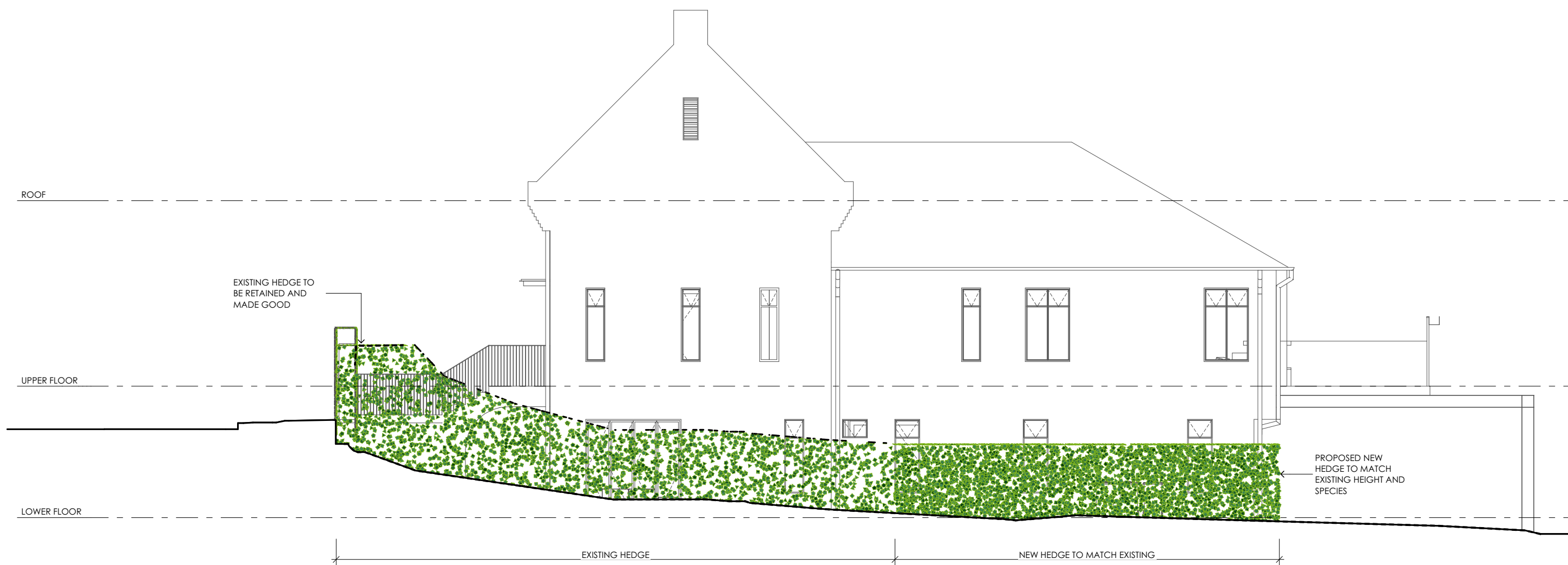
PAPER SIZE: A2

PRINT DATE: 18/12/2020

JOB No: 3339 DWG No: SK08



**SOUTH FENCE ELEVATION**  
Scale 1:100



**EAST FENCE ELEVATION**  
Scale 1:100

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MATERIALS SCHEDULE

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COLOUR: TBC
- WF-02 RENDER FINISH.  
SOLVER COLOUR:  
DOESKIN 2724
- WF-03 RENDER FINISH.  
SOLVER COLOUR:  
DOESKIN 2724
- EF-01 ENTRANCE CANOPY.  
RENDER FINISH. COLOUR  
TBC
- SF-04 POWER COATED STEEL.  
CHARCOAL COLOUR
- GU-01 HALF ROUND FLATBACK  
GUTTER. COLOUR: TBC
- GU-02 STRATCO COLOURBOND  
GUTTER. COLOUR: TBC
- RF-01 COLORBOND STEALTH  
ROOF FINISH  
COLOUR: TBC
- RWH COLORBOND RAIN  
WATER HEAD  
COLOUR: TBC
- OG OPAQUE GLAZING
- GB GLAZED BALUSTRADE
- TB TIMBER SLATS BALUSTRADE

NOTE: ALL FENCING HIDDEN FOR  
CLARITY. REFER TO FENCE  
ELEVATIONS FOR DETAILS

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT

ISSUE	REVISION	DATE
05	DEVELOPMENT PLAN CONSENT	9/12/2020
06	DEVELOPMENT PLAN CONSENT	18/12/2020

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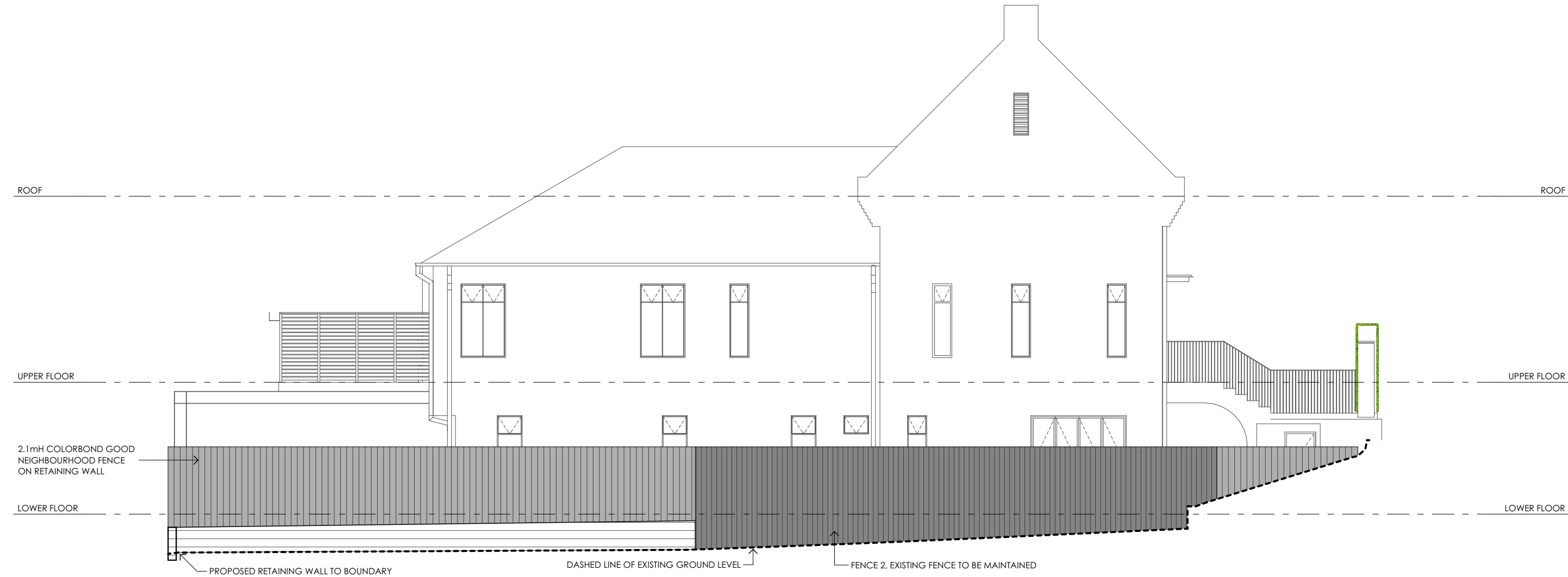
PROJECT: New Residences  
23 Burlington Street Walkerville

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FENCE ELEVATIONS  
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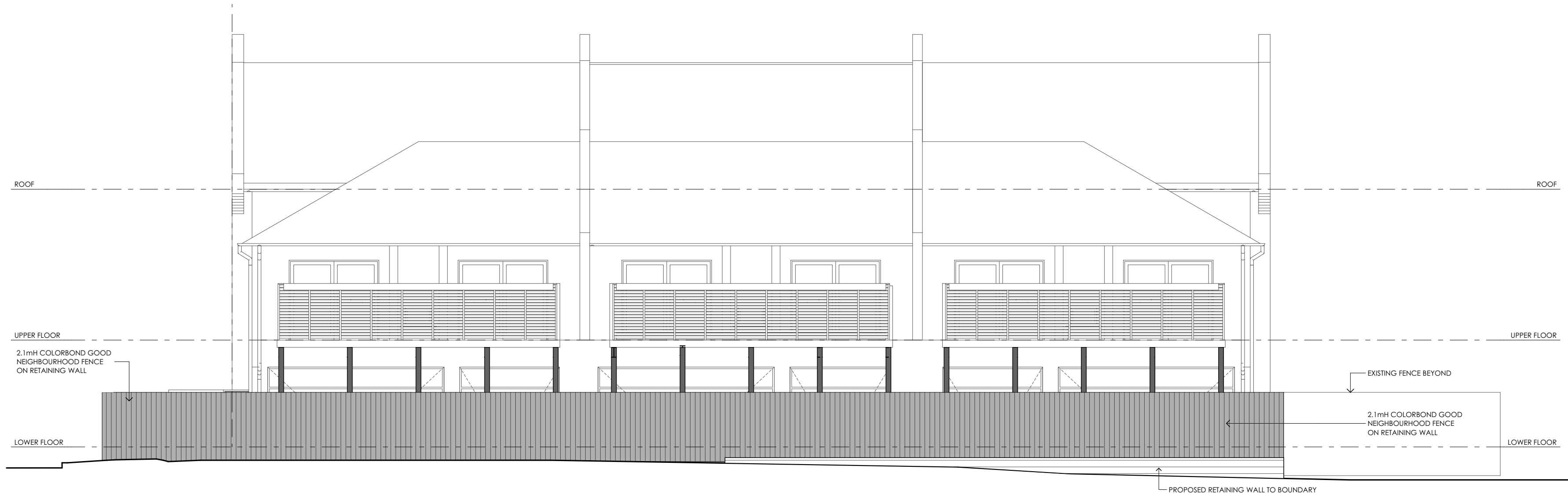
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PRINT DATE: 18/12/2020

JOB No: 3339      DWG No: SK09

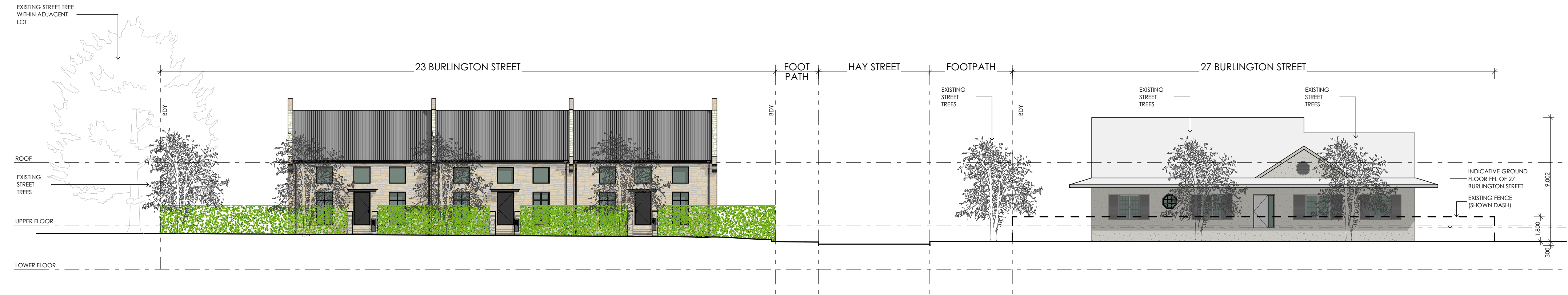


WEST FENCE ELEVATION  
Scale 1:100

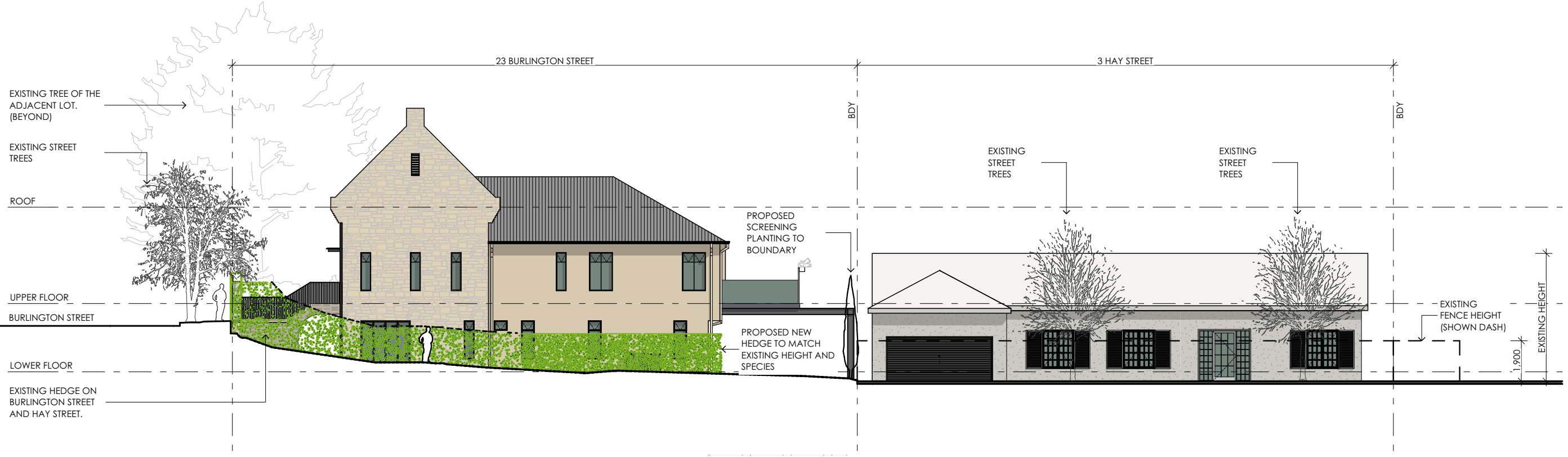


NORTH FENCE ELEVATION  
Scale 1:100





STREET ELEVATION (SOUTH)  
Scale 1:200



STREET ELEVATION (EAST)  
Scale 1:200



27 BURLINGTON STREET



23 BURLINGTON STREET: EXISTING HEDGE AND STREET TREES



3 HAY STREET - MAIN GATE



3 HAY STREET

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT

ISSUE	REVISION	DATE
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06	DEVELOPMENT PLAN CONSENT	18/12/2020

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23 Burlington Street Walkerville

DRAWING TITLE :

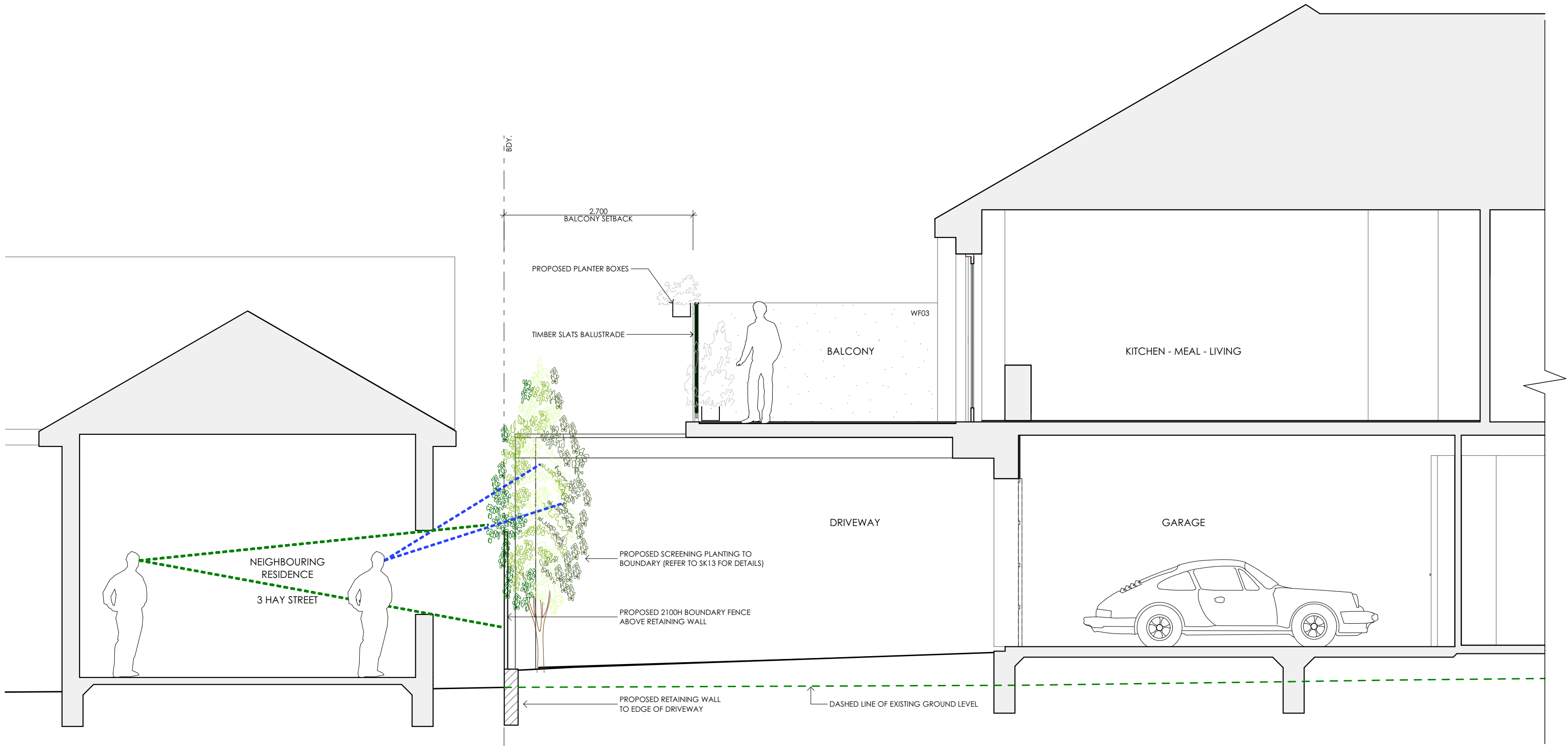
STREET ELEVATIONS

PAPER SIZE: A2

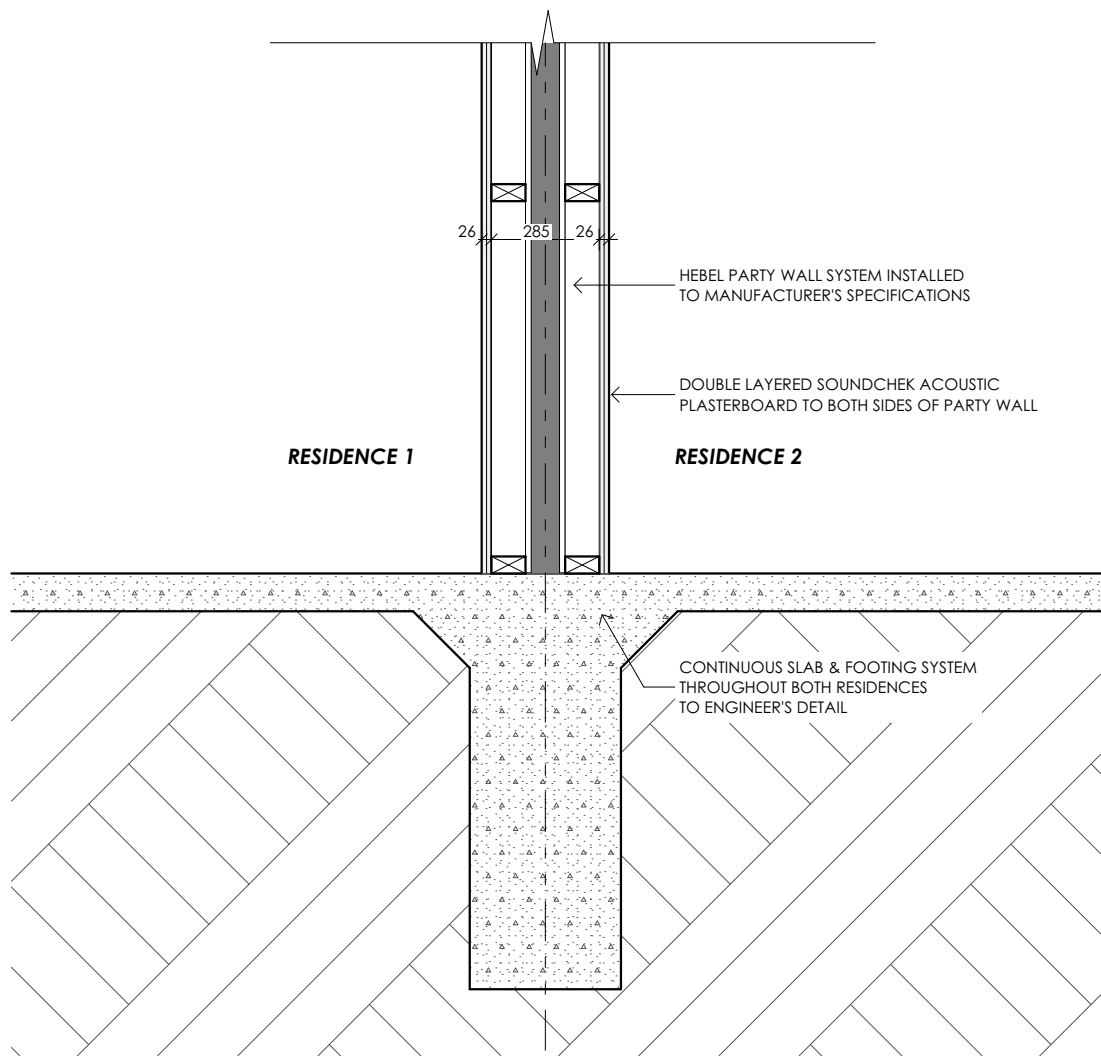
PRINT DATE: 18/12/2020

JOB No: 3339 DWG No: SK10





SECTION AA - VISUAL IMPACT STUDY  
Scale 1:50



PARTYWALL DETAIL  
Scale 1:20

ISSUED FOR  
DEVELOPMENT PLAN  
CONSENT

ISSUE	REVISION	DATE
04	DEVELOPMENT PLAN CONSENT	25/11/2020
05	DEVELOPMENT PLAN CONSENT	9/12/2020
06	DEVELOPMENT PLAN CONSENT	18/12/2020

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PROJECT: New Residences  
23 Burlington Street Walkerville

DRAWING TITLE :  
**VISUAL IMPACT STUDY A**  
PAPER SIZE: A2

PRINT DATE: 18/12/2020  
JOB No: 3339 DWG No: SK11



ISSUE	REVISION	DATE
04	DEVELOPMENT PLAN CONSENT	25/11/2020
05	DEVELOPMENT PLAN CONSENT	9/12/2020
06	DEVELOPMENT PLAN CONSENT	18/12/2020

CLIENT: DIAMANTIS DEVELOPMENTS

PROJECT: New Residences  
23 Burlington Street Walkerville

VISUAL IMPACT STUDY

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